

DWELLING HOUSE DESIGN GUIDELINES

BUILDING HEIGHT		
Maximum Building Height	12m	
BUILDING ENVELOPE		
	Setbacks (min) Where ≤8.5m in height	Setbacks (min) Where >8.5m-12m in height
FRONTAGE SETBACKS (Primary Frontage)		
Front Setback - To Wall	3.0m	6.0m
Front Setback - To OMP	2.0m	5.0m
Front Setback - To Covered Car Parking Space	5.4m	N/A
FRONTAGE SETBACKS (Secondary Frontage - Street)		
Secondary Frontage Setback - To Wall	2.0m	3.0m
Secondary Frontage Setback - To OMP	1.0m	2.0m
Secondary Frontage Setback - To Covered Car Parking Space	5.4m	N/A
SIDE & REAR SETBACKS (Non Built to Boundary)		
Side & Rear Setbacks (Non-BTB)	As Per QDC MP1.1 or MP1.2 (refer to Side Setbacks Table)	
BUILT TO BOUNDARY WALLS (0m - 0.2m Side Setback)		
Where Lot Frontage is ≤7.5m	Mandatory both sides; Max. length 80% of boundary length & Max. BTB wall height of 7.5m	
Where Lot Frontage is >7.5m - 12.5m	Mandatory one side, as shown on the Approved Plan of Development; Max. length 60% of boundary length & Max. BTB wall height of 7.5m	
Where Lot Frontage is >12.5 - 18m	Optional one side, as shown on the Approved Plan of Development; Max. length of 15m or 60% of the length of the boundary (whichever is lesser) & Max. BTB wall height of 7.5m	
Where Lot Frontage is >18m	Not Permitted	
MAXIMUM SITE COVER		
	Site Cover (max) Where ≤8.5m in height	Site Cover (max) Where >8.5m-12m in height
Lot Area 300m ² or less	75%	50%
Lot Area 301-401m ²	70%	50%
Lot Area 401m ² -500m ²	60%	60%
Lot Area 501m ² +	60%	50%
GARAGE OPENINGS (Maximum Width)		
Lot Frontage 12.5m or Less	Single Storey: Max. 3.0m wide; Two Storey: Max. 6.0m wide and recessed 1.0m behind front wall or balcony of upper level	
Lot Frontage Greater than 12.5m - 18m	Max. 6.0m wide	
Lot Frontage Greater than 18m	Not Specified	
ADDITIONAL DESIGN REQUIREMENTS		
Preferred Garage Location	Along built to boundary wall or otherwise indicated on the Plan of Development	
Minimum Number of Car Spaces	1 per Dwelling House	
Crossover Widths	Maximum of 40% of the frontage access is being obtained from or 4.8m, whichever is the lesser	
Casual Surveillance	Dwelling house must address primary frontage with a minimum of a front door, window(s) and pedestrian entrance; A minimum of one habitable room window having an area of at least 1m ² on each level overlooks each adjoining public space	

SIDE SETBACKS TABLE

Road Frontage (in metres)	Side Boundary Clearances (in metres)			
	≤4.5m building height	>4.5m to 7.5m building height	>7.5m to 10.5m building height	>10.5m to 12m building height
15.001 or greater	1.500m	2.0m	2.5m	3.0m
14.501-15.0	1.425m	1.9m		
14.001-14.5	1.350m	1.8m		
13.501-14.0	1.275m	1.7m		
13.001-13.5	1.200m	1.6m		
12.501-13.0	1.125m	1.5m		
12.001-12.5	1.050m	1.4m		
11.501-12.0	0.975m	1.3m		
11.001-11.5	0.900m	1.2m		
10.501-11.0	0.825m	1.1m		
10.5 or less	0.750m	1.0m		

- Side setbacks shown above have been derived from QDC MP1.1 & MP1.2.
- Side setbacks area measured to Outermost Projection (OMP).
- Where building height is greater than 7.5m, minimum side and rear setbacks are to be 2m plus 0.5m for every 3m or part of 3m by which the height exceeds 7.5m.

LEGEND

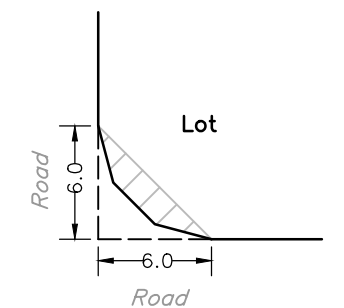
- - Site/Stage Boundary
- ▼ - Mandatory Built to Boundary Location
- ▼ - Optional Built to Boundary Location
- ✱ - Lot with No Built to Boundary Location
- Indicative Driveway Location
- Drainage Reserve
- MBRC Lot Type A
- MBRC Lot Type B
- MBRC Lot Type C
- MBRC Lot Type D
- MBRC Lot Type E



Refer to Sheet 2 for Indicative Building Location Envelopes

- Design guidelines in table have been derived from the Dwelling House Code of the Moreton Bay Regional Council Planning Scheme V3 and are applicable to the design of dwelling houses within the subject site.
- Additional requirements may apply to the design of dual-occupancy dwellings and dwelling houses with secondary dwellings.
- Non-compliance with the siting and design provisions may require a concurrence agency response from Council.
- To be read in conjunction with the Approved Plan of Development for the subject site.
- Where an inconsistency exists between a diagram on Sheets 2, 3, 4 or 5 with the Dwelling House Design Guidelines and Side Setbacks Tables shown on Sheet 1, the provisions outlined on Sheet 1 prevail to the extent of the inconsistency.

Special siting requirements for corner allotments



NOTE:
Structures in shaded area shall not exceed 2.0m in height

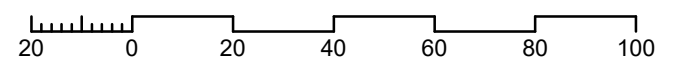
Issue	Revision	Int	Date
A	Original issue	AV	1/05/19

Building Envelope Plan 16-28 Park Road, Deception Bay

Description: Lot 1 on SP151378
 Local Authority: Moreton Bay Regional Council
 Client: Gallery Homes Pty Ltd



SCALE 1:1500



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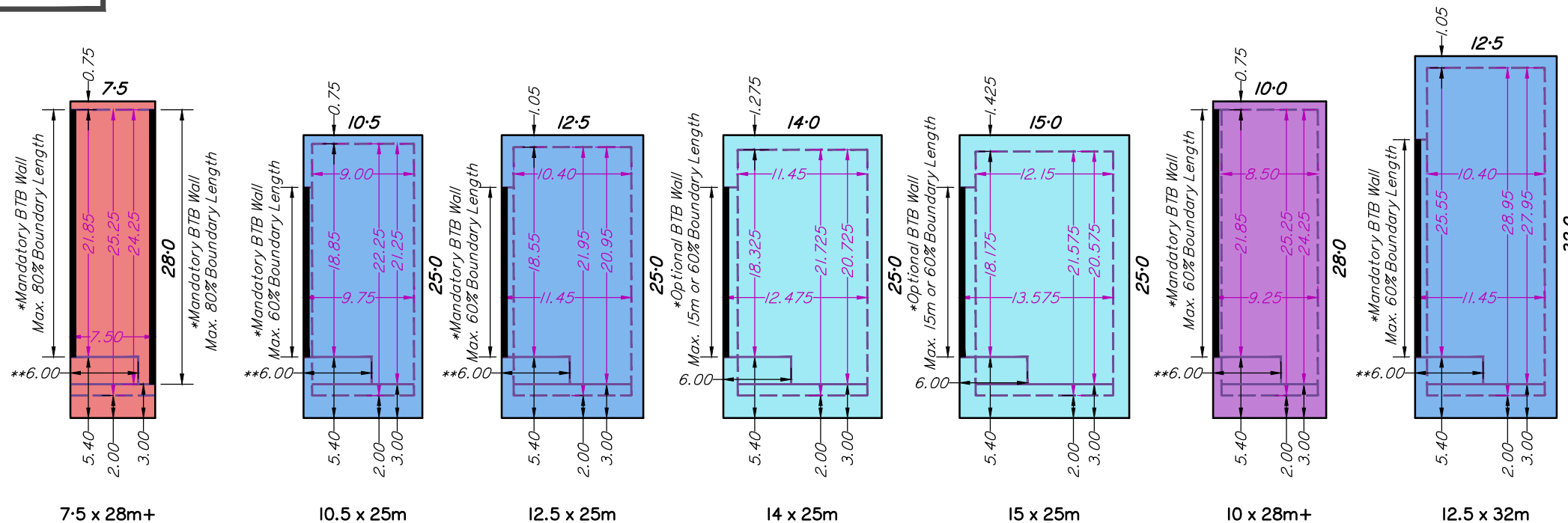
Project: BNE180539
 File: B180539SK2.dwg
 Date: 20/09/2019
 Drawing: A3 5759
 Revision: B
 Sheet: 1 of 2

Alternate setback requirements apply where building height exceeds 7.5m, refer to design guidelines on Sheet 1

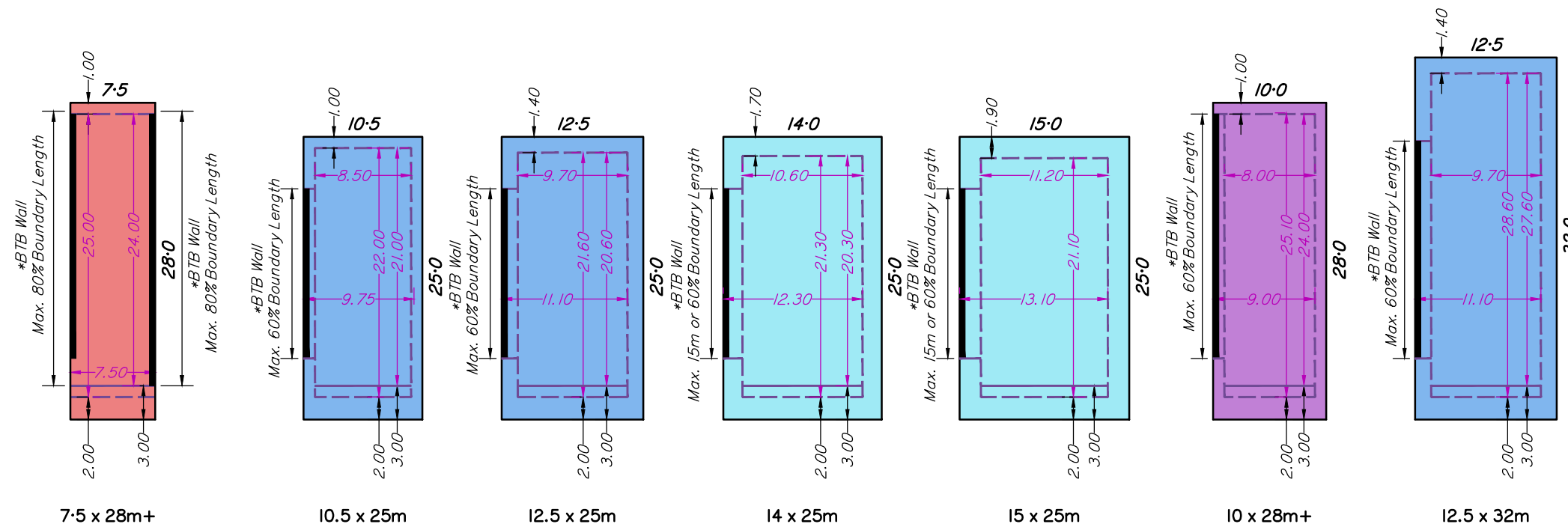
Typical BLEs

Ground Floor ≤4.5m height

- LEGEND
- - - - - Setback to OMP
 - - - - - Setback to Wall
 - █ Built to Boundary Wall
 - ↔ 4.53 ↔ - Minimum Setback
 - ↔ 4.53 ↔ - BLE Internal Dimension



First Floor >4.5m - 7.5m height



Note:
* Built to Boundary walls to be provided as per locations shown on approved Plan of Development. Built to Boundary walls shown on First Floor diagrams are indicative only, there is no requirement to provide a built to boundary wall on the first floor.

** Concurrence agency response required from Council where a single storey dwelling is created on a lot with a frontage of 12.5m or less and contains a garage opening greater than 3m wide.

Refer to the Approved Plan of Development for lot configuration.

Where an inconsistency exists between a diagram on Sheets 2, with the Dwelling House Design Guidelines and Side Setbacks Tables shown on Sheet 1, the provisions outlined on Sheet 1 prevail to the extent of the inconsistency.

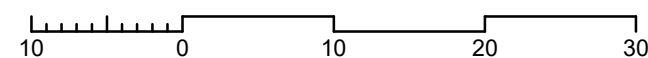
Issue	Revision	Int	Date
A	Original issue	AV	1/05/19
B	Match proposal plan Rev L, minor text fixes	AV	20/09/19

Building Envelope Plan 16-28 Park Road, Deception Bay

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SCALE 1:500



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